

LAZARUS BUILDING

1202-1214 Main Street (964-980 Pearl Street)



One-story massing; full block coverage

Scalloped detail on parapet

Prominent curved corner with glass blocks

Storefronts with punched display window openings, glazed transoms, awnings, and terra cotta tiles



APN	003143009000
YEAR BUILT	1936
ARCHITECT	Unknown
STYLE	Art Moderne
USE	Commercial (Retail)
CHRS	553

Retain

- Building form & significant detailing, including glass blocks, scalloped detail on parapet, curved corner, and punched window openings with glazed transoms
- Original entry & fenestration rhythm
- Terra cotta tiles surrounding storefronts

Consider

- Sensitive display window changes
- Consistent treatment across entire building: present a unified, coordinated aesthetic among all businesses
- Cohesive signage program
 - Encourage signage on canopies and display windows
 - Signage consistent with simple, streamlined architecture
- Introducing pale colors to highlight building's character; should be respectful of Art Moderne style
- Retention of angled awnings over display windows; replace curved awnings over pedestrian entries
- Installation of rooftop HVAC unit less visible from the street

Avoid

- New display window openings that are incompatible with the overall unified appearance of the building
- Competition of design among storefronts

Additions & Adjacent New Construction

- The one-story Lazarus Building takes up an entire block, and it may be difficult to add additional floors in a sensitive way. Because the existing building is built all the way to the property line on all sides, a ground level addition is not likely to be feasible. If additional floors are desired, rooftop additions should be significantly stepped back from the façade and incorporate contemporary architectural elements consistent with the Streamline Moderne style in form, materials & detailing, yet still differentiated from the historic fabric.
- Adjacent Lazarus Apartments (1216-1246 Main Street) has not been evaluated; if it is determined not to be a historic resource, that site may provide an opportunity for adjacent new construction.
- New construction to the north of the subject building should not exceed four stories, and should have setbacks and massing such that it does not dwarf the corner of the subject building (Pearl and Main streets).



Pearl Street facade, showing display window rhythm, transoms, and terracotta tiles.

SAM KEE LAUNDRY / PFEIFFER BUILDING

1245 Main Street



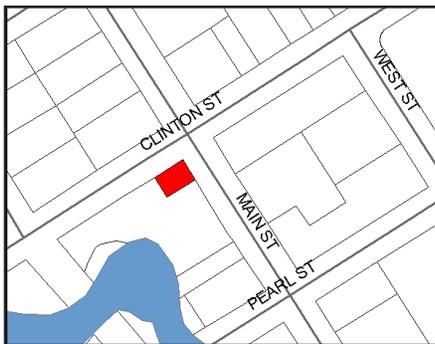
False parapet with bracketed cornice

Regular fenestration pattern with
stone lintels and sills

Stone rubble masonry construction
on east and west facades

Non-historic rear addition

Cut stone block masonry construction
on primary facade



APN	003137003000
YEAR BUILT	1875
ARCHITECT	Unknown
STYLE	Italianate
USE	Commercial (Retail)
CHRS	IS,5S1

Retain

- Masonry construction (cut stone blocks on primary façade, exposed rubble on side facades)
- Two-story massing
- False parapet with bracketed cornice
- Stone lintels and sills
- Plaque

Consider

- If windows and doors are to be replaced, Future changes should be historically accurate
- Retention of existing awnings (one awning per opening)
- Future signage should be installed in existing locations

Avoid

- Insensitive color, signage, awning treatments
- Damage or removal of historic fabric
- Harmful chemical or physical treatments to the stone

Additions & Adjacent New Construction

- The Sam Kee Laundry is isolated and could benefit from sensitive new construction. Surrounding surface parking lot provides an opportunity for new development.
- The Sam Kee Laundry Building is eligible for listing in the National Register, and in order to preserve its eligibility for listing, no major changes or additions should occur. The two-story massing is important, so rooftop additions are discouraged.
- New construction on the surface parking lot to the south should be set back from the Sam Kee Laundry Building so rubble masonry façade can be clearly viewed from the street.
- Height of adjacent new construction on the surface parking lot to the south could be two to four stories, depending on massing. New construction at this location should also respect the character of the Napa Firefighter's Museum (1201 Main Street).
- Rear addition could replace existing non-historic rear build-out. Addition should not exceed height of historic portion of building.
- If additions or alterations are necessary, they should meet the Standards to preserve the building's eligibility for listing in the National Register.



Non-historic rear addition is simply designed and compatible in scale with historic Sam Kee Laundry Building.

1461 POLK STREET

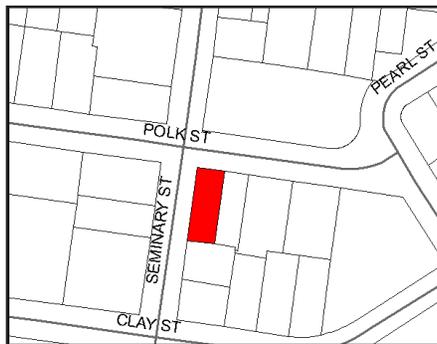


Bracketed cornice

Replace porch and columns with more compatible porch

Angled bay window with two-over-two wood sash windows

Front and side setbacks



APN	003197001000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential
CHRSC	553

Retain

- Original appearance
- One-story massing
- Parapet roof with over-hanging eaves supported by decorative brackets
- Wood cladding
- Two-over-two wood sash windows

Consider

- Restoring the porch to its historic appearance
- If converted to commercial use, use a free-standing sign with a low profile or door or window signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Seminary and Polk Streets. A couple of non-historic buildings (6Z status code) stand on the southern portion of the block. A narrow vacant lot and a large surface parking lot to the east and the non-historic building to the south of the subject building may provide opportunities for adjacent new construction.
- Development on the large parking lot at the east end of the block could be up to three stories along the Polk Street frontage; four stories may be allowed on the interior of the development if the height is integrated within a stepped massing, and a monolithic bulk is avoided. On the narrow vacant lot immediately east of the subject building, adjacent new construction should not exceed two stories so as not to overwhelm the subject building; construction on this narrow lot could be an independent structure, or it could step down from a larger building to form the west end of a full-block development.
- Adjacent new construction south of the subject building should not exceed two stories to protect the low scale of the subject building.

- Additions should not interfere with roofline. Rear one-story additions are recommended; however, an addition could be located on the east if it is slightly lower than the subject building and is set back from the primary façade of the building on Polk Street. Rooftop additions are not recommended due to the building's simple form.
- The open space between the subject building and Seminary Street should be maintained.



Rear facade and ivy-covered garage.

CHRISTIAN SCIENCE CHURCH

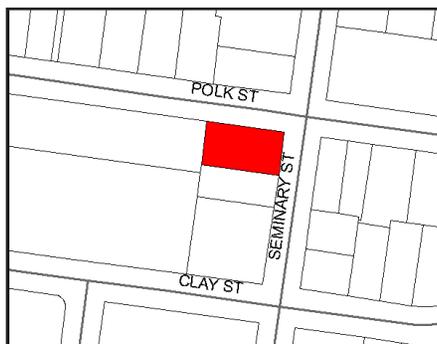
1525-1527 Polk Street



Gable roof with rosette

Arched windows

Classical Revival details, including
pilasters and fanlights



APN	003191002000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Religious / Commercial Conversion
CHRSC	553

Retain

- T-shaped plan
- One and one-half story massing
- Gable roof
- Stucco cladding
- Windows with arched openings
- Classical Revival style, including pilasters and fanlights
- Mature trees

Consider

- Replacement of front doors with more historically compatible design
- If windows are to be replaced, use wood
- Re-introducing original use
- If commercial use is retained, signage could be flat board or low freestanding sign
- Removal of addition east of the building

Avoid

- Removal of original architectural details
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. A one-story addition may be acceptable in the footprint of the existing addition which extends from the building's east façade.
- The existing space between the subject building and the historic residence to its south should be preserved.
- There is an opportunity for new construction on the surface parking lot located east of the building. New construction should not exceed one story above the subject property because the former church is located adjacent to a residence which is also eligible as a Napa Landmark.
- A large parcel containing the non-historic Safeway store and a surface parking lot is located across the alley to the west of the Christian Science Church, and may provide an opportunity for new development.
 - New construction on this parcel should respect the scale, rhythm, and character of the nearby Calistoga Avenue Historic District, located across Polk Street.
 - New construction on this parcel could be up to two stories along the Polk Street frontage to protect the character of both the Christian Science Church and the Calistoga Avenue Historic District; three to four stories may be allowed on the interior of the block if the height is integrated within a stepped massing.



East facade, showing one-story addition to T-shaped building.

FIRST UNITED METHODIST CHURCH

625 Randolph Street



Cruciform plan with square tower

Arched stained glass windows

Tracery above entry vestibules

Opportunity to replace non-historic buildings with new development



APN	003262007000
YEAR BUILT	1916
ARCHITECT	Luther Turton
STYLE	English Gothic Revival
USE	Religious
CHRSC	5S1, 3S

Retain

- Restored appearance
- English Gothic architectural style
 - Two and one-half story massing
 - Cross-gabled roof with parapet
 - Cruciform plan with square corner tower
 - Gabled dormer window
 - Fenestration pattern, including arched window openings and stained glass windows
 - Stucco cladding
 - Tracery above entry vestibules
- Significant interior features (if possible)

Consider

- Retaining type and location of existing signage

Avoid

- Removal of original architectural details
- Further additions to the building and/or denser new construction on the property

Additions & Adjacent New Construction

- The First United Methodist Church is a Napa Landmark, is eligible for listing in the National Register of Historic Places, and is located across the street from the Napa Abajo/Fuller Park National Register Historic District. Therefore,

the building should be treated with the utmost care. Additions are not recommended; however, an addition may be possible if it is located in the footprint and building envelope of the existing rear addition and does not exceed the height of the church.

- The First United Methodist Church stands on the northwest corner of the intersection of Randolph and Division Streets. Adjacent surface parking lots and non-historic church buildings may provide an opportunity for new development.
- Because the church has a powerful street presence, it is possible for adjacent new construction to be one full story greater than the subject building. However, new construction that exceeds the height of the church should be set back from the existing building.
- The position of the church at a large intersection ensures that sightlines/views of the building will be preserved. Therefore, for new construction across Randolph Street, there are no height restrictions relative to historic resources except as otherwise prescribed by the DSP Development Standards. However, new construction should respect the scale, rhythm, and character of the surrounding neighborhood.



A new addition could be constructed within the envelope of the existing rear addition; it should not exceed the height of the church and should be set back from the corner.



Centennial Hall/Adams Hall (top) and Bonner Educational Building (bottom) are non-contributors to the property, and could be replaced by sensitive new development.

642 RANDOLPH STREET



Hipped roof with shaped brackets

Wood sash windows with decorative surrounds

Simple front porch

Landscaped setback from Randolph Street



APN	003271001000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential
CHRSC	5S3

Retain

- Italianate architectural style
 - One story massing
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Decorative window surrounds
 - Simple front entry
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood door surmounted by transom light
- Setback from Randolph Street

Consider

- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is located on the southeast corner of the intersection of Randolph and Fourth Streets. A non-historic building (6Z status code) stands to the south of the subject property and a surface parking lot is located to the east (rear); these sites may provide opportunities for new development.
 - New construction adjacent to the subject property should not exceed a height of two stories.
 - Development on the surface parking lot to the rear should also respect the character of the nearby Treadway & Wigger Funeral Chapel (623 Coombs Street).
- New development may also be possible on the large surface parking lot across Fourth Street. Development of this parcel should defer to the character of the First Presbyterian Church (1333 Third Street), and should preserve views of the spire. New construction should respect the low scale, rhythm, and character of 642 Randolph Street and its surrounding residential neighborhood, although taller heights may be possible on the interior of the block if the height is integrated within a stepped massing, and a monolithic bulk is avoided.
- It is recommended that any additions to the building occur at the rear (east) and not exceed two stories in height. If a side addition is made to the building, it should be set back from the primary façade on Randolph Street and should be lower than the height of the subject property.



Rear facade, showing sensitive rear porch and addition and detached garage/shed.

830-832 SCHOOL STREET



Hipped roof with dormer window

Exposed rafter tails

Existing signage in appropriate location

Low concrete retaining wall



APN	003205013000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Vernacular architectural style
 - One and one-half story massing
 - Hipped roof with over-hanging eaves and exposed rafter tails
 - Hipped dormer window with leaded glass
 - Simple porch supported by posts
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Landscaped setback with low concrete retaining wall

Consider

- Retaining type and location of commercial signage
- Converting back to residential use

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Second and School Streets. A National Register-eligible building (3S status code) stands to the rear (east) of the subject building.
- Rear additions are preferred; however, a side addition may be possible if it is set back from the primary building façade on School Street. Additions should be lower than the height of the subject building.
- The surface parking lot to the north and non-historic building (6Z status code) to the south of the subject property may provide an opportunity for new development. New construction adjacent to the subject building should not exceed two stories.
- Development may occur across School Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.



Fenestration pattern and angled bay on north facade should be maintained, but the adjacent surface parking lot may provide an opportunity for new development.

NAPA SAVINGS & LOAN ASSOCIATION BANK

1310 Second Street

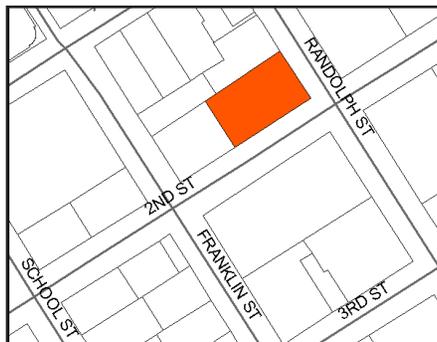


Cantilevered canopies and irregular massing

Large expanses of clear glazing

Consider replacement lighting

Low planters



APN	003207006000
YEAR BUILT	1960
ARCHITECT	Unknown
STYLE	Contemporary
USE	Commercial (Vacant, originally Bank)
CHRS	553

Retain

- Cantilevered canopies
- Unusual massing
- Roman brick cladding
- Large expanses of glazing
- Simple, neutral color palette
- Planters and landscaping integrated into the building's overall design

Consider

- Replacement lighting
- Replacement of non-historic doors with fully-glazed steel or aluminum frame doors

Avoid

- Tinted or opaque glass
- Rooftop additions

Additions & Adjacent New Construction

- Rooftop additions or adjacent additions are not recommended in order to preserve unusual massing and horizontality.
- Adjacent new construction in parking lot may be acceptable, as long as it does not directly abut the building, especially at the southwest facade. No height limitations relative to historic resources, except as otherwise prescribed by the DSP Development Standards.



Detail of southeast corner, showing non-historic doors at left, full-height glazing, and integral landscaping.

U.S. POST OFFICE, FRANKLIN STATION

1351 Second Street



U.S. Post Office signage

Art Deco/WPA Moderne details,
including fluted pilasters and stylized
terra cotta eagle panels

Replace non-historic doors with those
compatible with WPA Moderne style

Clean and repair lanterns,
where deteriorated

Granite stairs



APN	003208001000
YEAR BUILT	1933
ARCHITECT	William Corlett
STYLE	Art Deco/WPA Moderne
USE	Civic (Post Office)
CHRSC	IS, 5S1

Retain

- Tripartite massing
- Sunken light well at primary façade
- Brick cladding
- Granite stairs
- Art Deco architectural details
 - Fluted pilasters
 - Terra cotta details at cornice and beltcourse
 - Terra cotta panels with eagle motif
 - Large exterior lanterns
 - Multi-light steel sash windows
- Interior lobby finishes and lighting
- U.S. Post Office signage
- Landscaping on east and west ends of building

Consider

- Retention of existing Post Office use
- Cleaning and repair of deteriorated lanterns, granite stairs, and other materials
- Replacing non-historic doors with WPA Moderne style doors

Avoid

- Harmful physical or chemical treatments
- Damage to or removal of brick or terra cotta elements
- Alterations to landscaped open space at east and west ends

Additions & Adjacent New Construction

- Rooftop or horizontal additions are not recommended to preserve the building's iconic massing and horizontality.
- Landscaped yards at east and west ends of Post Office are character-defining features, so alterations are not recommended along Second, Franklin, and Randolph. If interventions must occur, they should only be on the rear of the parcel (current service area).
- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.
- Service area and adjacent parcel containing Zeller's Hardware (819 Randolph Street) may provide opportunities for new construction.
 - The adjacent parcel could be developed to the lot line.
 - Except as otherwise prescribed by the DSP Development Standards, there are no height restrictions relative to historic resources on adjacent new development because the Post Office has such a strong street presence.



Detail of non-historic doors, granite stairs, and lanterns



Landscaped side yard, Randolph Street.

1553 SECOND STREET



Hipped roof with overhanging eaves
and gabled front dormer

Patterned shingles

Remove fire alarm

Replace existing hanging signs with
flat or freestanding signage



APN	003202001000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Queen Anne / Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One story massing
- Queen Anne and Vernacular architectural styles
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Gabled front dormer
 - Simple porch supported by piers
 - Wood cladding, including patterned shingles
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door

Consider

- Removal of fire alarm on primary facade
- Flat applied signage rather than hanging signs
- Conversion back to residential use

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located the southeast corner of the intersection of Church and Second Streets. A couple of National-Register-eligible properties (3S status code) stand on the southern portion of the block.
- Non-historic buildings located on the south and east parcels adjacent to the subject building may provide an opportunity for adjacent new construction. New construction on these parcels should not exceed two stories immediately adjacent to the subject building, but could step higher away from the subject building.
- The surface parking lot across Second Street may provide an opportunity for new development. New construction across Second Street should not exceed three stories.
- Additions should not interfere with roofline. Rear additions are recommended; however, a side addition is possible if it is slightly lower than the subject building and set back from the primary façade of the building on Church Street. The width of a side addition should not exceed half the width of the subject building.

1763 SECOND STREET



Craftsman style, including wood shingle cladding, dormer, and exposed rafter tails

Consider re-opening enclosed front porch

Consider free-standing signage instead of applied signage

Landscaped setback from Second Street



APN	003251005000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- Craftsman architectural style
 - One and one-half story massing
 - Cross gabled roof with purlins and exposed, shaped rafter tails
 - Gabled dormer window
 - Wood shingle cladding
 - Paired pilasters
 - Wood sash windows with historic screens and leaded glass
- Landscaped setback from Second Street

Consider

- Re-open enclosed front porch
- If commercial use is retained, consider free-standing signage rather than applied signage
- Conversion back into residence

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is located near the intersection of Second and Jefferson Streets, adjacent to non-historic buildings to the west and south, and surrounded by a surface parking lot. These adjacent parcels may provide opportunities for new development.
- Because the building is only one and one-half stories in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Second Street from the subject property should not exceed two to three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (south) and not exceed one story in height. If a side addition is made to the building, it should be set back from the primary façade on Second Street and should be lower than the height of the subject property.



Surface parking lot at rear of parcel may provide opportunity for additions or adjacent new construction.

1776 SECOND STREET



Complex gable roof with shallow eaves

Simple front porch supported by arcade

Remove screens that obscure wood sash windows

Deep setback from College and Second Streets



APN	003194005000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Maintain restored appearance
- One-and-one-half story over raised basement massing
- Complex gable roof with shallow over-hanging eaves
- Simple front porch supported by arcade
- Wood cladding
- One-over-one light, wood sash windows
- Deep setback from College and Second Streets

Consider

- Less prominent window screens which do not obscure wood sash windows
- Separate, shallower canopies above the east window and entrance
- Re-introducing residential use
- If commercial use is retained, consider retention of existing type and placement of commercial signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the northeast corner of the intersection of College and Second Streets. Opportunity sites (surface parking lots) are located to the north of the subject building. The building stands on a block which contains primarily non-historic buildings.
- Adjacent new construction should be three or fewer stories.
- Additions should not interfere with roofline. Rear one-story additions are recommended although a one-story addition to the east of the building may be possible so long as it is set back from the primary façade of the building on Second Street.



Consider removing canopy from entrance.

1778 SECOND STREET



Pyramidal roof

Octagonal bay window

One-story over raised basement



APN	003193004000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Vernacular style
 - One-story over raised basement massing with prominent entry stair
 - Pyramidal roof
 - Simple front porch
 - Recessed entry
 - Octagonal corner bay
 - Wood cladding
- Setback from street

Consider

- Historically accurate door hardware
- If windows are replaced, using wood sashes
- Re-introducing residential use
- If commercial use is retained, consider retention of existing signage type and location: flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Opportunity sites are located north and west of the subject building. These areas currently contain surface parking lots.
- An addition may be constructed on the west façade of the building, preferably in the northern (rear) half of the façade. This addition should be limited to one story and should not interfere with roofline of the building.
- An addition may also be constructed at the north (rear) of the building, and should not exceed one story.
- New construction should maintain existing open space between the subject building and College Street.
- There are no development restrictions relative to historic resources across Second Street.

THEODORE BELNAP COTTAGE #1

1790-1792 Second Street

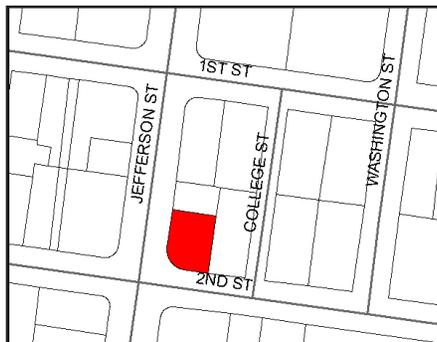


Pyramidal roof

Decorative shingles and stickwork

Simple porch supported by turned wood posts

Landscaped setback on Second Street



APN	003193008000
YEAR BUILT	1890
ARCHITECT	Theodore Belnap (Builder)
STYLE	Stick-Eastlake / Queen Anne
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Restored appearance
- One-story over raised foundation massing
- Spatial relationship to identical building at 952 Jefferson Street
- Pyramidal roof supported by shaped brackets
- Queen Anne/Stick-Eastlake style
 - Square bay window
 - Simple front porch supported by shaped wood posts
 - Elongated brackets/stickwork
 - Decorative window surrounds
 - Wood cladding
 - One-over-one light, wood sash windows
 - Decorative shingles in gable end
- Landscaped setback from Second Street

Consider

- Doors in the primary façade which are more historically accurate
- Retain existing type and placement of commercial signage
- Coordinating treatment with adjacent, identical building at 952 Jefferson Street

Avoid

- Removal of original architectural details and ornamentation
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended, and should be set back from the corner, should not exceed the width of the building, and should not increase the length by more than a third. However, a one-story addition to the east may be possible so long as it is set back from the primary façade of the subject building.
- Surface parking lots to the north, east and south of the subject building may provide opportunities for adjacent new construction. An identical house, 952 Jefferson Street, stands to the north and a local Landmark-eligible building (5S3 status code) stands to the east.
- Adjacent new construction should be two or fewer stories, and should preserve the spatial relationship between the subject building and 952 Jefferson Street.



Simple massing and architectural details on Jefferson Street facade should be retained

1042 SEMINARY STREET

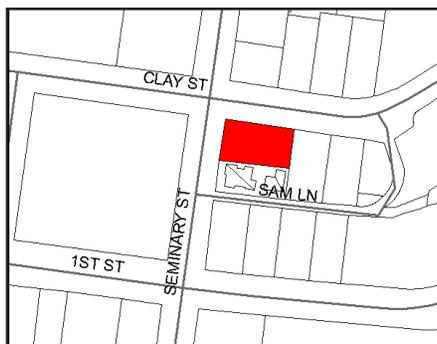


Gable roof with overhanging eaves and purlins

Restore porch with historically compatible second-floor balustrade

Original wood sash windows

Consider removal of metal security door



APN	003198001000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential
CHRS	553

Retain

- Vernacular style
 - Two-story massing
 - Gable roof with over-hanging eaves supported by decorative brackets
 - Wood cladding
 - One-over-one wood sash windows
 - Simple two-story front porch
 - Brick chimney with stone base
- Detached garage at rear of parcel

Consider

- Restoration of the front porch: historically compatible spindles on the second story
- If replacing windows, using wood sashes with historically accurate divided light
- Restoration of the transom lights: historically accurate, translucent, divided lights
- Removal of the metal security door
- Restoration of the chimney cap
- If converted to commercial use, use a free-standing sign with a low profile or door or window signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Demolition of the garage
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Clay and Seminary Streets. A couple of local Landmark-eligible buildings (5S3 status code) stand on the southern portion of the block. The non-historic building to the south and the large surface parking lot to the east may provide opportunities for adjacent new construction.
- Adjacent new construction to the south should not exceed two stories along Seminary Street; adjacent new construction to the rear (east) should not exceed three stories along Clay Street.
- Additions should not interfere with roofline. Rear one-story additions are recommended; however, an addition could be located on the north if it is lower than the second floor solarium windows and is set back from the primary façade of the building on Seminary Street.



Detached garage should be retained, and additions should not obscure second floor solarium windows

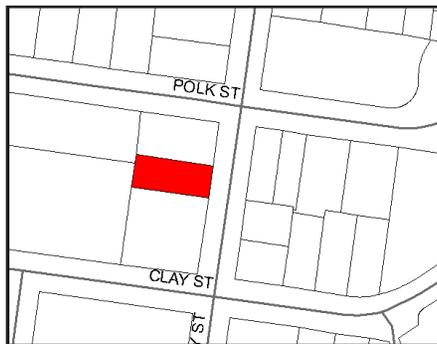
1133 SEMINARY STREET



Octagonal bays

Leaded glass windows

Maintain driveway and front setback



APN	003191003000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Shingle
USE	Residential
CHRSC	553

Retain

- Rectangular footprint
- Two-story massing
- Pyramidal roof and overhanging eaves
- Octagonal bays
- Wood shingle siding
- Leaded windows and front door

Consider

- If windows are to be replaced, use wood
- If commercial use is introduced, signage could be flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overpower the building

Additions & Adjacent New Construction

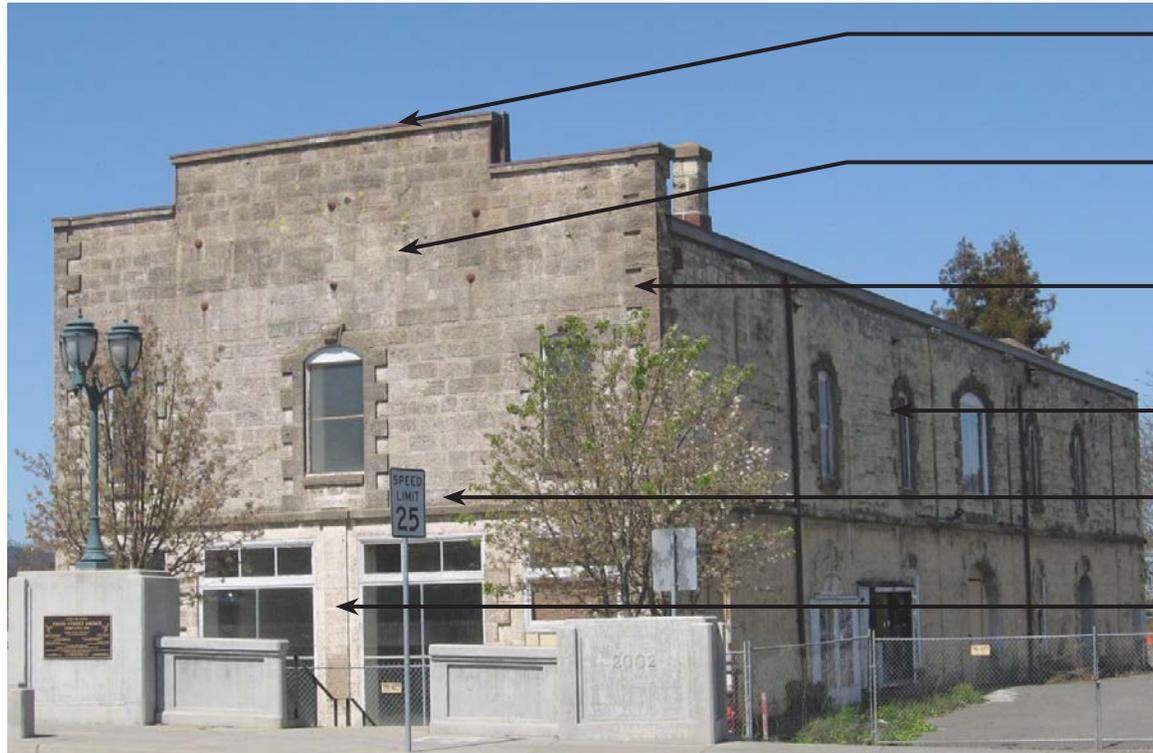
- Additions should be located at the rear of the building. It is not advisable to construct additions to the building to the north or south; however, if additions are constructed, they should occur in the rear half of the building and should not exceed the height of the subject building. Ideally, additions would connect to the building through existing fenestration.
- The subject building is located between surface parking lots to the north and south. A garage is located west of the building. The surface parking lots represent opportunity sites for new construction. New construction should not exceed the height of the subject building.



Detail of ground floor/primary entrance

BORREO BUILDING

920 Third Street



Restore stepped parapet and gable roof to match historic photos

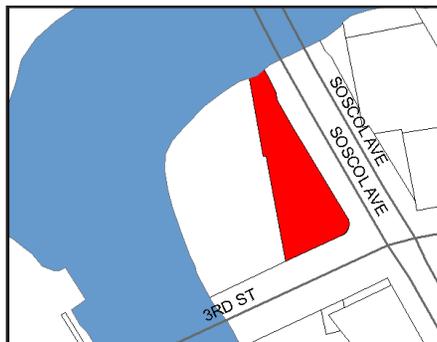
Stepped parapet would be an appropriate location for signage

Stone masonry construction with quoins at corners

Arched window openings

Install flat canopy at beltcourse to match historic photos

Retain restored compatible storefronts



APN	006133002000
YEAR BUILT	1877
ARCHITECT	Unknown
STYLE	Nineteenth Century Commercial
USE	Commercial (Vacant)
CHRSC	5S1, 3S

Retain

- Nineteenth Century Commercial style
 - Two story massing with shaped parapet
 - Symmetrical facade
 - Decorative arched window surrounds
 - Stone masonry construction with quoins
- Storefront windows surmounted by transom lights (compatible restoration)

Consider

- Restoration based on historic photographs, including re-installing flat canopy at beltcourse, reconstruction of a third step on the front parapet, and construction of gable roof
- Cleaning and repair of the stone masonry
- Flat applied and/or illuminated commercial signage on parapet, or monument sign on property to increase visibility from downtown
- Landscaping or other outdoor use that activates the site

Avoid

- Additional architectural decoration that competes with simplicity of historic design
- Harmful chemical or physical treatments
- Damage to or removal of historic materials

- Incompatible color, signage, and awning treatments
- Due to high visibility of building from all angles, rooftop additions are discouraged

Additions & Adjacent New Construction

- The subject property is located on a city block east of the Napa River at the northwest corner of the intersection of Third Street and Soscol Avenue. It has been isolated by the construction of the Third Street Bridge and the extension of Soscol Avenue.
- The area between the subject building and the river to the west is designated as a river setback, and is therefore not available for development. The Borreo Building is located on a fully-developed block across the street from a future City park. There are no height limitations for new construction relative to historic resources across the street from the building.
- The subject property is a Napa Landmark; therefore, additions are not recommended. However, a one-story addition may be constructed on the rear (north) façade so long as it does not exceed the width of the subject property. Additions to other facades are not recommended.
- Limit number of new openings cut into secondary facades. If necessary, it may be possible to introduce simple windows along the west facade that reflect the existing fenestration pattern on the east facade.



Rear facade, showing second-floor warehouse doors and symmetrical composition.



Borreo Building, circa 1975. (Kilgallon, 32)



Third Street circa 1880, showing Borreo Building (center) surrounded by adjacent development. (Verardo, 40)

UPTOWN THEATRE
1332-1364 Third Street



Restored blade sign

Decorative plaster grilles

Marquee with ticket booth
and entry vestibule



APN	003208004000
YEAR BUILT	1935
ARCHITECT	Unknown
STYLE	Art Deco
USE	Commercial (Theatre)
CHRS	3S, 5S3

Retain

- Restored appearance, including overall bulk, stucco cladding, and Art Deco ornament
- Blade sign and marquee

Consider

- Retaining theatre use
- Re-introducing ground floor retail use
- If changes are to occur, future changes should be historically accurate

Avoid

- Punching new openings in the side or rear façades
- Insensitive color, signage, awning treatments

Additions & Adjacent New Construction

- Rooftop additions are not recommended to preserve the building's simple massing.
- Adjacent parcels containing two non-historic buildings Zeller's Hardware (819 Randolph Street) may provide an opportunity for new construction or a compatible addition. Adjacent new construction is recommended over an addition.
- The adjacent parcels could be developed to the west lot line, but should be set back from the corner of the Uptown Theatre's primary facade.
 - If it is an addition, construction should not exceed height of Uptown Theatre marquee
 - Except as otherwise prescribed by the DSP Development Standards, no height restrictions relative to historic resources on adjacent new development because the Uptown Theatre has such a strong street presence.
- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.



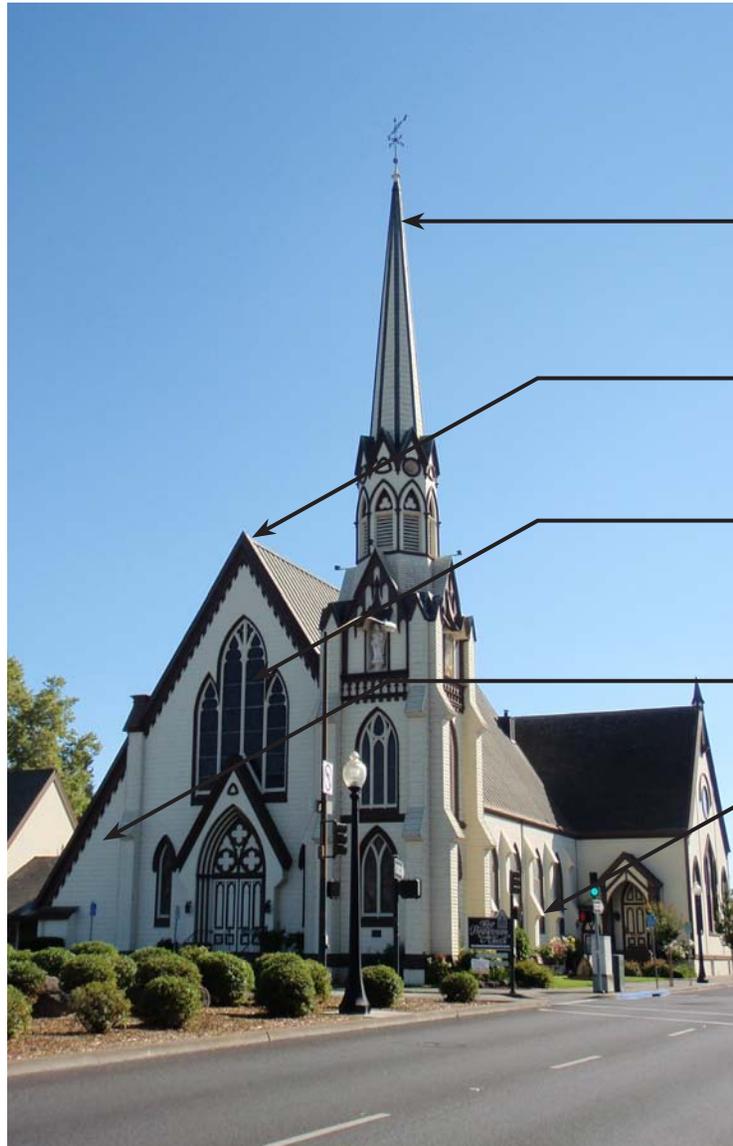
Detail of recently restored ticket booth and entry vestibule



*Historic photograph of the Uptown Theatre, circa 1940.
(Uptown Theatre Website)*

FIRST PRESBYTERIAN CHURCH

1333 Third Street



Steeple

Steeply pitched roof

Lancet windows (stained glass)

Remove non-historic shed-roofed addition

Cruciform plan, with chapel at rear and landscaped courtyard



APN	003209004000
YEAR BUILT	1874
ARCHITECT	Daley & Eisen (builder J.W. Batchelor)
STYLE	Gothic Revival
USE	Religious (Church)
CHRS	IS, 5S1

Retain

- Gothic Revival architectural style
 - Steeply pitched front-gabled roof with steeple
 - Cruciform plan, including landscaped courtyard at north façade
 - Wood cladding
 - Lancet windows (stained glass)
 - Prominent entry with paneled wood doors
 - Tracery, finials, and other architectural details
- Significant historic interior features, if possible (i.e. sanctuary)

Consider

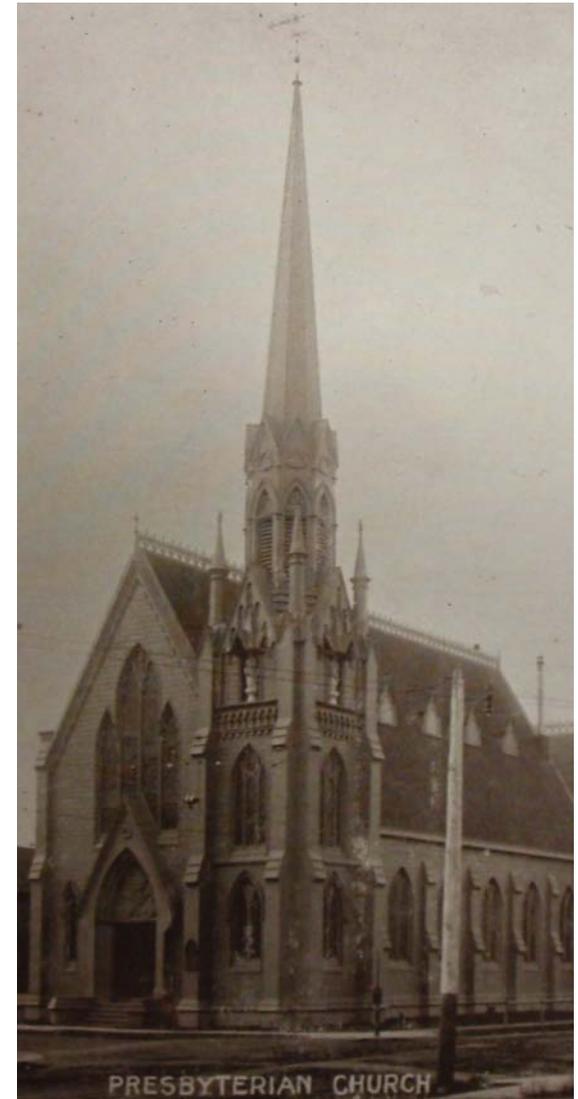
- Removal of shed-roofed addition at south end (see historic photo)
- Re-roofing with more compatible cladding material
- Removal of beveled vinyl siding on steeple
- If changes are to occur, future changes should be historically accurate

Avoid

- Punching new openings in the side or rear façades
- Damage or removal of historic fabric
- Insensitive color, signage treatments

Additions & Adjacent New Construction

- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.
- Non-historic social hall and school buildings west and south of church, respectively, may provide opportunities for additions or adjacent new construction.
 - Multiple smaller additions would be more compatible than a single large block addition.
- New additions should be separated from church to preserve its form, and should be connected to church through existing openings using a “hyphen.”
- Across Randolph Street, the large surface parking lot may provide an opportunity for new development. New construction across on the surface parking lot should not be taller than the apex of the gable roof at the corner, and should have a sense of relief at the corner to preserve views of the spire and church frontage. New construction could be taller on the interior of the block if the height is integrated within a stepped massing, and a monolithic bulk is avoided.
- Across Third Street, the parcel currently occupied by non-historic Zeller’s Hardware (819 Randolph Street) may provide an opportunity for new construction. New construction on this parcel should not exceed the height of the Uptown Theatre marquee.



First Presbyterian Church, 1908. (Darms, 63)

1516 THIRD STREET



Stick/Eastlake architectural details, including square bay window, spindlework, and elongated brackets

Clean, repair, and paint deteriorated fabric, where necessary

Adjacent parcel with non-historic building may provide opportunity for new development

Consider re-introducing historically compatible low fencing or site wall



APN	003202008000
YEAR BUILT	1885
ARCHITECT	Unknown
STYLE	Stick-Eastlake
USE	Residential
CHRS	3S

Retain

- Two story massing
- Stick/Eastlake architectural style
 - Square bay window with decorative window surrounds
 - Cross gable roof with over-hanging eaves supported by shaped brackets
 - Gable roofed portico supported by turned wood posts
 - Wood cladding
 - Applied wood ornament, including shingles, stickwork, and spindlework
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Setback from Third Street

Consider

- Clean, repair, and paint deteriorated original historic fabric, where necessary
- Re-introducing a historically accurate fence (i.e. low concrete site wall with wrought iron fencing)
- Maintaining existing type and location of signage
- Conversion back to residential use

Avoid

- Insensitive color and signage treatments

Additions & Adjacent New Construction

- The subject building is eligible for listing in the National Register, with another National-Register-eligible property located to the west. The building should therefore be treated with the utmost care.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The non-historic three-story office building to the east and the surface parking lot to the north of the subject building may provide an opportunity for new development.
 - New construction to the north of the subject building should not exceed three stories.
 - New construction east of the subject property should not exceed three stories, and should respect the scale, rhythm, and residential character of the surrounding neighborhood.
- Development may occur across Third Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.

1526 THIRD STREET



Consider removing gable ornament,
which does not appear to be original
to the building

Art glass window

Simple porch with wood posts and
decorative braces

Deep front and side setbacks



APN	003202009000
YEAR BUILT	1889
ARCHITECT	Unknown
STYLE	Greek Revival
USE	Residential
CHRSC	3S

Retain

- Greek Revival architectural style
 - Two story massing
 - Cross gable roof with over-hanging eaves and prominent front-facing gable
 - Simple hipped-roof porch supported by wood posts and decorative braces
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Wrought iron fence
- Wood barn at rear of parcel

Consider

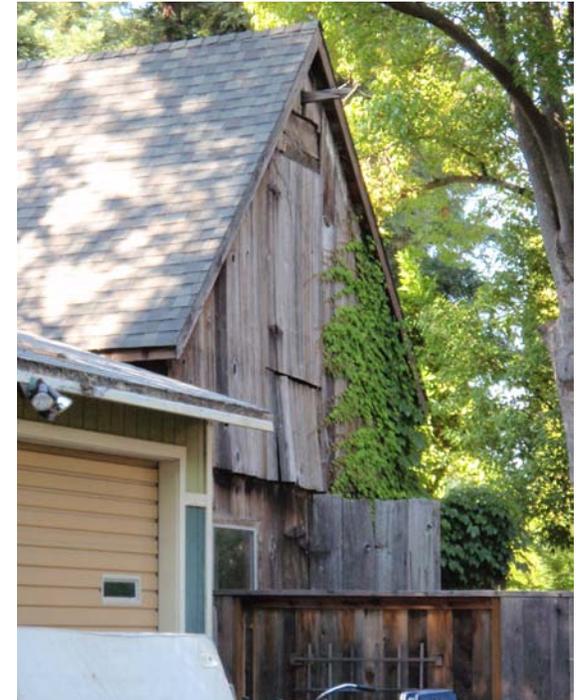
- Removal of gable ornament, which does not appear to be original to the Greek Revival-style building. Complete additional research, if possible, to confirm whether or not this feature is original.
- Removal of metal security screen on door and windows
- Historically sensitive paint palette
- If converted to commercial use, consider free-standing or flat applied signage
- Rehabilitation of the historic wood barn

Avoid

- Addition of architectural details that cause a false sense of historical development

Additions & Adjacent New Construction

- The subject building is eligible for listing in the National Register, with another National-Register-eligible property located to the east.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner and does not interrupt the spatial relationship between the house and the barn.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The non-historic building to the west (6Z status code) and the non-historic City-owned building and associated surface parking lot to the north of the subject building may provide an opportunity for new development.
 - New construction to the north of the subject building should not exceed three stories, and should not abut the historic barn.
 - New construction west of the subject property should not exceed two stories.
- Development may occur across Third Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.



Historic wood barn located at the rear of the parcel should be retained and rehabilitated.

GILMORE OIL CO. GAS STATION 1538 Third Street



Projecting canopy with streamlined shape and details (one car wide)

Storefront windows

Large vehicular opening

Surface parking lot may provide an opportunity for adjacent new construction



APN	003201006000
YEAR BUILT	1940
ARCHITECT	Unknown
STYLE	Streamline Moderne
USE	Commercial (Auto Repair, originally Gas Station)
CHRSC	7N*

NOTES

Page & Turnbull found the property at 1538 Third Street to meet the eligibility criteria for listing as a local landmark, and suggested a "5S3" status code. However, during the public outreach process for the Downtown Napa Survey, the property owner of 1538 Third Street objected to the survey findings, and a peer review of Page & Turnbull's findings was conducted, resulting in a difference of professional opinions. The "7N" status code assigned here indicates that further study will be needed to resolve this difference of opinions; in the future, the City Council could consider supplemental information or opinions in addition to Page & Turnbull's findings to determine whether this property is eligible for local landmark designation.

Retain

- Streamline Moderne detailing
- One-story massing with projecting canopy
- Large vehicular opening
- Steel casement windows on west side
- Storefront windows

Consider

- Retention of landscaping at lot line to serve as a buffer between adjacent historic residences
- Encouraging a use that utilizes indoor-outdoor spaces to preserve and highlight the building's unique form

Avoid

- Additions that would compete materially with the subject building's ability to convey its significance as a former gas station
- Details that detract from Streamline Moderne style

Additions & Adjacent New Construction

- Surrounding surface parking could accept sensitive new construction or additions.
- Up to two-story L-shaped addition or adjacent new construction may be acceptable, as long as it does not overpower the building, and the canopy remains visible from the street.
- Care should be paid to the connection between the existing building and the new construction, if any; there could be a gap between the side façade and the new construction, or a small connector could be used.



Detail of streamlined canopy, which should be retained.

NICHOLS HOUSE

1562 Third Street



Italianate style, including bracketed cornice, symmetrical facade, and pediment

Pedimented front porch supported by distinctive turned posts

Surface parking lot may provide opportunity for adjacent new construction

Landscaped setback from Third and Wilson Streets; consider re-installing low fence based on historic photographs



APN	003201001000
YEAR BUILT	1879
ARCHITECT	Ira Gilchrist
STYLE	Italianate
USE	Residential
CHRSC	3S

Retain

- Restored appearance
- Two-story massing with symmetrical facade
- Italianate style
 - Pyramidal roof with over-hanging eaves supported by decorative brackets and capped by a pediment
 - Wood cladding
 - Wood sash windows
 - Decorative window surrounds
 - Pedimented front porch supported by distinctive turned wood posts
 - Paired paneled wood doors with glazed transom
- Landscaped setback from Third and Wilson Streets

Consider

- Introduction of new openings on primary (Third Street) or west (Wilson Street) facades
- Re-installing low fence (see historic photo)
- Retention of residential usage (single-family dwelling or sensitive apartment conversion)
- If converted to commercial use, consider free-standing or window signage

Avoid

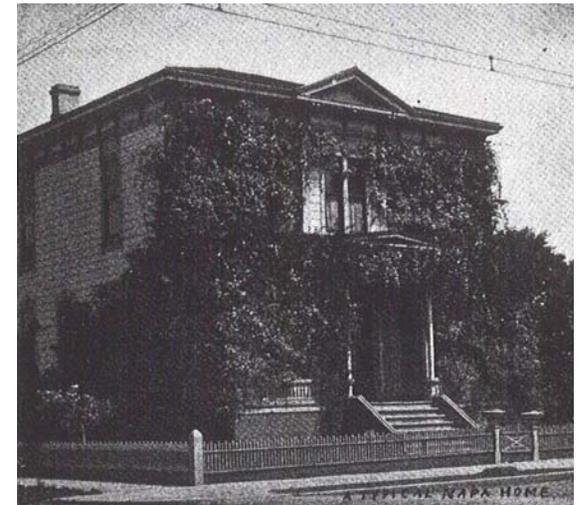
- Removal of original architectural details and ornamentation
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located northeast intersection of Wilson and Third Streets. Several local Landmark-eligible buildings (5S3 status code) stand on adjacent lots to the east.
- The surface parking lot at the east edge of the subject parcel may provide an opportunity for small-scale adjacent new construction. Adjacent new construction should not exceed the height of the subject building, and should maintain the building spacing typical along Third Street.
- The non-historic buildings across Wilson Street to the west of the subject building may provide an opportunity for large-scale new development. Construction across the street should not exceed three stories.
- Additions are discouraged. The building is eligible to be listed on the National Register and should be treated with the utmost of care, as it retains a high level of integrity.



Wilson Street facade with regular fenestration pattern and formal landscaping.



Nichols House covered with ivy, 1908. (Darms, 52)

1742 THIRD STREET



Simple vernacular form, with one-story massing and hipped roof

Replace porch with design more compatible with Victorian-era vernacular style to improve building's integrity

Angled bay window, which appears to be a later addition

Repair deteriorated materials



APN	003251017000
YEAR BUILT	1890
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential
CHRSC	553

Retain

- Vernacular architectural style
 - One story massing
 - Hipped roof with over-hanging eaves
 - Horizontal wood cladding
 - Wood sash windows
- Deep setback from Third Street

Consider

- Relocate or trim landscaping at entry porch
- Replacement of porch with design more compatible with Victorian-era vernacular style (i.e. replace battered columns, lower-profile roof, install a balustrade comprised of spindles or equivalent)
- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is surrounded by surface parking lots and landscaping, which may provide opportunities for new development. Because 1742 Third Street is only one story in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Third Street from the subject property should not exceed three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (south) and not exceed one story in height. If side additions are made to the building, they should be set back from the primary façade on Third Street and should be lower than the height of the subject property.



1763 Third Street is located on a large parcel, and is set back significantly from Third Street.

1766 THIRD STREET



Craftsman style details, including one-story massing, knee braces, and dormer window

Open front porch supported by piers

Opportunity for new development on surrounding surface parking lot



APN	003251019000
YEAR BUILT	1922
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential
CHRSC	5S3

Retain

- Craftsman architectural style
 - One and one-half story massing
 - Hipped roof with over-hanging eaves and exposed, shaped rafter tails
 - Gabled dormer window with knee braces
 - Simple open front porch supported by piers
 - Recessed entry
 - Wood shingle cladding
 - Wood sash windows

Consider

- Remove window air conditioning unit
- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Removal of original architectural details
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- Opportunities for adjacent new construction may exist at the surface parking lots to the east and north and the non-historic building to the west of the subject property.
- Because 1766 Third Street is only one story in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Third Street from the subject property should not exceed three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (north) and not exceed one story in height. If a side addition is made to the building, it should be set back from the primary façade on Third Street and should be lower than the height of the subject property.

CITY OF NAPA PARKS & RECREATION DEPARTMENT

1100 West Street



Cupola

Arcaded front porch

Square corner bay



APN	003173009000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- One-story-over-raised basement massing
- Classical Revival architectural style
 - Pyramidal roof
 - Wide overhanging eaves supported by brackets
 - Cupola
 - Arcaded front porch
 - Square corner bay
 - Decorative window surrounds
 - Wood cladding

Consider

- Replacement of doors in raised basement with more historically compatible design
- If windows are to be replaced, use wood. Maintain one-over-one light divisions.
- Re-introducing residential use
- Retention of bracketed shingled canopies over entries in the raised basement
- If commercial use is retained, signage could be flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended.
- Adjacent parking lot and non-historic multiplex movie theatre may provide opportunities for adjacent new construction
- Maintain open space surrounding building
- No height restrictions for adjacent new construction except as otherwise prescribed by the DSP Development Standards.

Relocation

- Due to flood control regulations, this building may be a target for relocation. The building was previously moved to this site after 1949, and therefore already lacks integrity of location. Relocating the building again does not appear to affect its eligibility for listing in the HRI.
- If this building needs to be relocated, consider moving it to a vacant site in a residential neighborhood within the Downtown Specific Plan area and restoring it to its original height (remove non-historic ground floor). This could improve the building's integrity of design, and could serve to activate the receiver site.



Secondary facade. Consider replacement of doors in two additional entrances in raised basement.

NAPA ABAJO / FULLER PARK HISTORIC DISTRICT



These seven properties are listed in the National Register as contributors to the Napa Abajo / Fuller Park Historic District.

The Napa Abajo / Fuller Park Historic District Design Guidelines (1998) apply to all these resources, and should be used to guide future alterations or development on these parcels.

No additional guidelines were prepared as part of this document, except to note that new construction across Division Street from the northern boundary of the district should respect the size, scale, rhythm, and feeling of the district.

587-591 Coombs Street



APN	003264003000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Shingle
USE	Residential (Duplex)
CHRSC	ID

595 Coombs Street



APN	003264003000
YEAR BUILT	1910
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential
CHRSC	ID

Lamdin Cottage, 1236 Division Street



APN	003264002000
YEAR BUILT	1870
ARCHITECT	Unknown
STYLE	Gothic Revival
USE	Residential
CHRSC	ID

1224 Fifth Street



APN 003271006000
YEAR BUILT 1895
ARCHITECT Unknown
STYLE Vernacular
USE Residential
CHRSC ID

Robert P. Lamdin House, 590 Randolph St.



APN 003264001000
YEAR BUILT 1895
ARCHITECT Luther Turton
STYLE Classical Revival / Shingle Style
USE Residential
CHRSC ID

E.R. Gifford House, 608 Randolph Street



APN 003271007000
YEAR BUILT 1880
ARCHITECT Unknown
STYLE Queen Anne
USE Residential
CHRSC ID

618-620 Randolph Street



APN 003271008000
YEAR BUILT 1905
ARCHITECT Unknown
STYLE Vernacular
USE Residential
CHRSC ID

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CONCLUSION & NEXT STEPS

The Downtown Napa Historic Resources Design Guidelines were prepared for culturally and historically significant buildings within the Downtown Specific Plan area. All buildings included in this document appear eligible for or are already listed in the local, state, and/or national historical registers, and have been assigned a California Resource Status Code (CHRSC). The CHRSC rating system is the statewide standard for categorizing historic resources (see page 9 for definition of each CHRSC).

Depending on their status, historic resources within the Downtown Specific Plan area are subject to varying levels of design review by the Cultural Heritage Commission (CHC) and staff. Certificates of Appropriateness (COA) are required for most projects, with the purpose of conserving and enhancing compatible rehabilitation and new construction. This document can be used by the CHC and staff to help inform the COA process.

Summary of City Review Processes

Under the current Historic Preservation Ordinance, Certificates of Appropriateness are required as follows:

- *Landmarks & Landmark Districts:* COA is required for any new construction; alterations and additions to a Landmark or a contributing resource in a Landmark District; alteration or addition to a non-contributing resource in a

Landmark District; changes to major interior architectural features of a publicly-owned Landmark; and demolition of a building or structure.

- *Neighborhood Conservation Properties:* COA is required for any substantial construction visible from a public way; substantial alteration or addition visible from a public way; and demolition of a building or structure.
- *Historic Resource Inventory (HRI) Properties:* COA is required for demolition. The CHC reviews demolitions of all properties with a Map Score of “1” or “2” and properties with a Map Score of “3” within a potential historic district, while staff reviews demolitions of properties with a Map Score of “3” outside a potential historic district.

The City of Napa is in the process of converting from the existing HRI system (Maps Scores) to a new HRI system (CHRSCs). The 2011 Downtown Napa Historic Resources Survey was conducted using this new system, and historic resources should be subject to design review as follows. This updated design review process is based on the existing policies and could be effective immediately, although it could be further refined at the City’s discretion.

- **“5S1,” “5D1” or “5B”** is an individual Landmark Property or contributor to a Landmark District, and should continue to be reviewed as such (CHC)

- **“1S” or “1D”** is a National Register-listed property; National Register properties meet or exceed the significance criteria required for designation as a local Landmark Property or Landmark District, and thus should be reviewed in the same manner as Landmark Properties or contributors to Landmark Districts (CHC)
- **“3S” or “3B”** is automatically equivalent to Map Score of “1” and should continue to be reviewed as such (CHC)
- **“3CS”** is comparable to those properties listed in the HRI with a Map Score of “1” or “2” and should be reviewed as such by the CHC
- **“5S3”** is automatically equivalent to Map Score of “2” and should continue to be reviewed as such (CHC)
- **“3D” or “5D3”** is comparable to Map Score of “3” within a potential historic district and should be reviewed as such by the CHC
- **“6Z”** properties do not need to be officially designated, and are not subject to review

Refer to City of Napa website for Planning Application Forms and a full outline of the COA review process. Additional information about the CHRSCs and survey results can be found in the “Downtown Napa Historic Context Statement & Survey Report” (Page & Turnbull, 2011).

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APPENDIX

Design Guidelines Spreadsheet

The spreadsheet lists all properties that were included in the Downtown Napa Historic Resources Design Guidelines. The Assessor's Parcel Number (APN) and street address of each property are provided for identification purposes. Address(es), construction date, architectural style, Historic Resources Inventory (HRI) Map Score, and CHRSC are provided for each property. Notes about building name or history are included where applicable.

SURVEY SPREADSHEET KEY

- **c_apn:** Assessor's Parcel Number (APN)
- **c_full_address:** Parcel address (as assigned by Napa County Assessor)
- **add_bldg_address:** Additional street address (as assigned by P&T via field reconnaissance)
- **bldg_name_alt:** Building name or other identifier
- **yrbuilt:** Construction date (as assigned by Napa County Assessor or corrected by P&T, based on various research sources)
- **archt_style:** Architectural style(s)
- **HRI:** Current HRI rating (Map Score 1, 2, or 3) assigned to each parcel
- **chrsc:** California Historic Resource Status Code (CHRSC) assigned by P&T as part of intensive-level survey
- **district:** Contributor to a historic district (if applicable)

c_apn	c_full_address	add_bldg_address	bldg_name_alt	yrbuilt	archt_style	HRI	CHRSC	district
003222011000	810 - 816 BROWN ST		Center Building	1904	19th Century Commercial	1	3S	
003215001000	825 - 825 BROWN ST	810 Coombs	Napa County Courthouse	1878	Italianate	1	1S	
003222001000	840 - 844 BROWN ST		Alexandria Hotel	1910	Mediterranean Revival		1S, 5S1	
003201004000	827 - 827 CHURCH ST			1905	Classical Revival, Craftsman	3	5S3	
003264003000	585 - 595 COOMBS ST	595 Coombs St		1910	Queen Anne	3	1D	NAPA ABAJO/FULLER PK
003264003000	585 - 595 COOMBS ST	587-591 Coombs St		1880	Greek Revival, None/Altered		1D	NAPA ABAJO/FULLER PK
003271005000	623 - 623 COOMBS ST		Treadway & Wigger Funeral Chapel	1920	Modern	2	5S3	
003300001000	821 - 821 COOMBS ST			1915	20th Century Commercial	3	5S3	
003133009000	1207 - 1207 COOMBS ST	1210 Pearl St		1895	Vernacular	2	5S3	
003133008000	1213 - 1213 COOMBS ST			1870	Vernacular	2	5S3	
003133007000	1219 - 1219 COOMBS ST	1219A Coombs St		1880	Vernacular	2	5S3	
003133006000	1227 - 1237 COOMBS ST			1880	Vernacular	2	5S3	
003264002000	1236 - 1236 DIVISION ST		Lamdin Cottage	1870	Greek Revival	1	1D	NAPA ABAJO/FULLER PK
003271006000	1224 - 1224 FIFTH ST			1895	Craftsman	3	1D	NAPA ABAJO/FULLER PK
003241002000	731 - 731 FIRST ST			1870	Vernacular	2	5S3	
003231002000	967 - 975 FIRST ST		Semorile Building	1888	19th Century Commercial	1	1S, 5S1	
003167011000	1026 - 1030 FIRST ST		First National Bank	1905	Beaux Arts, Classical Revival	1	1S, 5S1	
003166004000	1130 - 1146 FIRST ST	1014 Coombs	Gordon Building	1920	Spanish Colonial Revival	1	1S, 5S1	
003214012000	1139 - 1139 FIRST ST			1920	20th Century Commercial	3	5S3	
003214002000	1141 - 1141 FIRST ST			1920	20th Century Commercial		5S3	
003211003000	1201 - 1209 FIRST ST	931-937 Coombs St	Native Sons of Golden West Bldg	1915	Renaissance Revival, 20th Century Commercial	2	5S3	
003164005000	1202 - 1202 FIRST ST	1005 Coombs Street	Napa Valley Register Building	1905	Classical Revival	1	1S, 5S1	
003164021000	1212-1222 FIRST ST	1025 Coombs St	Merrill's Building	1925	Mediterranean Revival		3S	
003211002000	1219 - 1219 FIRST ST		Goodman Library; Napa County Historical Society	1901	Romanesque Revival	1	1S, 5S1	
003211001000	1227 - 1245 FIRST ST		Migliavacca Building (1916)	1916	20th Century Commercial	3	5S3	
003198018000	1564 - 1564 FIRST ST			1915	Craftsman	3	5S3	
003198019000	1580 - 1580 FIRST ST			1890	Queen Anne	2	5S3	
003196005000	1607 - 1607 FIRST ST			1903	Craftsman	2	5S3	
003196002000	1635 - 1635 FIRST ST			1905	Shingle	2	5S3	
003196001000	1645 - 1645 FIRST ST			1905	Classical Revival	2	5S3	
003192005000	1750 - 1750 FIRST ST	1775 Clay Street	Noyes Mansion/Wine Spectator	1902	Classical Revival		1S, 3B, 5S1	FIRST-JEFFERSON
003193007000	1755 - 1755 FIRST ST		Katcher House; Blackbird Inn	1915	Craftsman	2	3B, 5B	FIRST-JEFFERSON
003206006000	1426 - 1426 FOURTH ST			1930	Mediterranean Revival	3	5S3	
003209007000	700 - 700 FRANKLIN ST			1895	Queen Anne	2	5S3	
003206004000	709 - 709 FRANKLIN ST			1880	Stick/Eastlake	1	3S	
003206003000	715 - 715 FRANKLIN ST		The Plunge; Community Thrift Shop	1905	Mission Revival	2	5S3	
003205004000	817 - 817 FRANKLIN ST		Bickford House	1880	Italianate	2	5S3	
003205012000	833 - 833 FRANKLIN ST		Robert Sterling House	1872	Italianate	1	3S	
003207008000	920 - 930 FRANKLIN ST			1950	Googie	3	5S3	
003193009000	952 - 952 JEFFERSON ST			1890	Queen Anne	2	5S3	
003277002000	500 - 550 MAIN ST		Hatt Building (1884)	1884	19th Century Commercial		1S, 5S1	
003277003000	530 - 530 MAIN ST		Hatt Building (1886)	1886	19th Century Commercial		1S, 5S1	

c_apn	c_full_address	add_bldg_address	bldg_name_alt	yrbuilt	archt_style	HRI	CHRSC	district
003222008000	813 - 813 MAIN ST		Fajiani Building	1908	Art Moderne, Renaissance Revival	1	3S	
003221012000	901 - 901 MAIN ST	900 Brown Street	Bank of Napa; Wells Fargo	1923	Classical Revival	1	1S, 5S1	
003231008000	902 - 912 MAIN ST		Oberon Building; Downtown Joe's	1933	Art Deco		5S1	
003231001000	942 - 948 MAIN ST		Winship Building	1888	19th Century Commercial	1	1S, 5S1	
003172003000	1030 - 1030 MAIN ST		Napa Opera House	1879	Italianate	1	1S, 5S1	
003172007000	1038 - 1040 MAIN ST		Mathis-Flanagan Building	1907	Classical Revival	1	5S3, 7N1	
003172011000	1122 - 1142 MAIN ST		Kyser/Williams Block	1900	19th Century Commercial	0	3S	
003137005000	1201 - 1201 MAIN ST		Napa Firefighter's Museum	1935	20th Century Commercial		5S3	
003143009000	1202 - 1214 MAIN ST	964-980 Pearl St	Lazarus Building	1936	20th Century Commercial	3	5S3	
003137003000	1245 - 1245 MAIN ST		Sam Kee Laundry/Pfeiffer Building	1875	Italianate	1	1S, 5S1	
003243008000	906 - 906 MCKINSTRY ST			1880	Italianate	2	5S3	
003197001000	1461 - 1461 POLK ST			1880	Italianate	2	5S3	
003191002000	1525 - 1527 POLK ST		Christian Science Church	1915	Romanesque Revival	2	5S3	
003264001000	590 - 590 RANDOLPH ST		Robert P. Lamdin House	1895	Queen Anne	1	1D	NAPA ABAJO/FULLER PK
003271007000	608 - 608 RANDOLPH ST		E.R. Gifford House	1888	Queen Anne	1	1D	NAPA ABAJO/FULLER PK
003271008000	618 - 620 RANDOLPH ST			1905	Craftsman	3	1D	NAPA ABAJO/FULLER PK
003262007000	625 - 625 RANDOLPH ST		First United Methodist Church	1916	Classical Revival	1	3S, 5S1	
003271001000	642 - 642 RANDOLPH ST			1880	Italianate	3	5S3	
003205013000	830 - 832 SCHOOL ST			1905	Craftsman	3	5S3	
003207006000	1310 - 1310 SECOND ST		Napa Savings and Loan	1960	Modern		5S3	
003208001000	1351 - 1351 SECOND ST		U.S. Post Office - Franklin Station	1933	Art Deco	1	1S, 5S1	
003202001000	1553 - 1553 SECOND ST			1900	Queen Anne, Vernacular	2	5S3	
003251005000	1763 - 1763 SECOND ST			1905	Craftsman	3	5S3	
003194005000	1766 - 1776 SECOND ST			1900	Queen Anne	3	5S3	
003193004000	1778 - 1778 SECOND ST		Golden State Lumber Inc	1905	Vernacular	3	5S3	
003193008000	1790 - 1792 SECOND ST			1890	Queen Anne	2	5S3	
003198001000	1042 - 1042 SEMINARY ST			1905	Vernacular	2	5S3	
003191003000	1133 - 1133 SEMINARY ST			1915	Shingle	2	5S3	
006133002000	920 - 930 THIRD ST		Borreo Building	1877	19th Century Commercial	1	5S1	
003208004000	1332 - 1364 THIRD ST		Uptown Theater	1935	Art Deco	2	5S3	
003209004000	1333 - 1333 THIRD ST		First Presbyterian Church	1874	Gothic Revival	1	1S, 5S1	
003202008000	1516 - 1516 THIRD ST			1885	Queen Anne, Stick/Eastlake	1	3S	
003202009000	1526 - 1526 THIRD ST			1889	Folk Victorian	1	3S	
003201006000	1538 - 1538 THIRD ST		Gilmore Oil Co. Gas Station	1940	Art Moderne	3	7N*	
003201001000	1562 - 1562 THIRD ST		Nichols House	1879	Stick/Eastlake	1	3S	
003251017000	1742 - 1742 THIRD ST			1890	Vernacular	2	5S3	
003251019000	1766 - 1766 THIRD ST			1922	Craftsman	3	5S3	
003173009000	1100 - 1100 WEST ST		City of Napa Parks & Recreation Bldg	1900	Craftsman, Vernacular	2	5S3	

* Page & Turnbull found the property at 1538 Third Street to meet the eligibility criteria for listing as a local landmark, and suggested a "5S3" status code. However, during the public outreach process for the Downtown Napa Survey, the property owner of 1538 Third Street objected to the survey findings, and a peer review of Page & Turnbull's findings was conducted, resulting in a difference of professional opinions. The "7N" status code assigned here indicates that further study will be needed to resolve this difference of opinions; in the future, the City Council could consider supplemental information or opinions in addition to Page & Turnbull's findings to determine whether this property is eligible for local landmark designation.

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